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Cork County Council  
South Cork Division



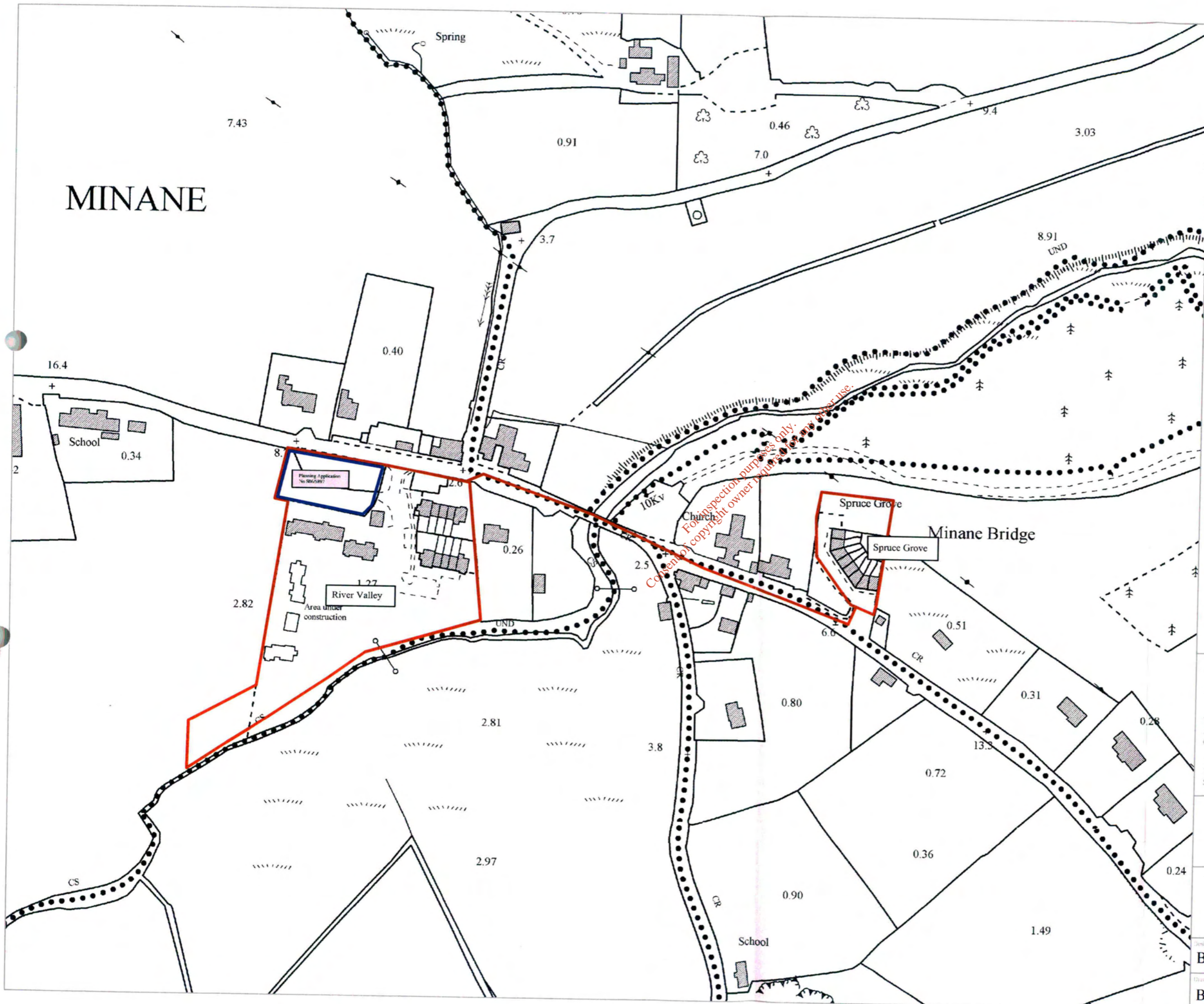
N. O'Keeffe, B.Eng., C.Eng., Eur.Ing., F.I.E.I., M.I.C.E.,  
Acting County Engineer  
County Hall, Cork.

P. Power  
Director of Services  
South Cork.

Project:  
**EPA LICENCE APPLICATION**  
Minane Bridge

Title:  
**Section A1**  
**Non-Technical Summary**  
**Agglomeration Location Map**


Designed: <b>BOL</b>	Checked: <b>BQ</b>	Scale: 1:50,000	Drawing No. <b>01</b>
Drawn: <b>BOL</b>	Approved: <b>BQ</b>	Date: 11/03/11	



# MINANE

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 South Cork Division



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 Acting County Engineer  
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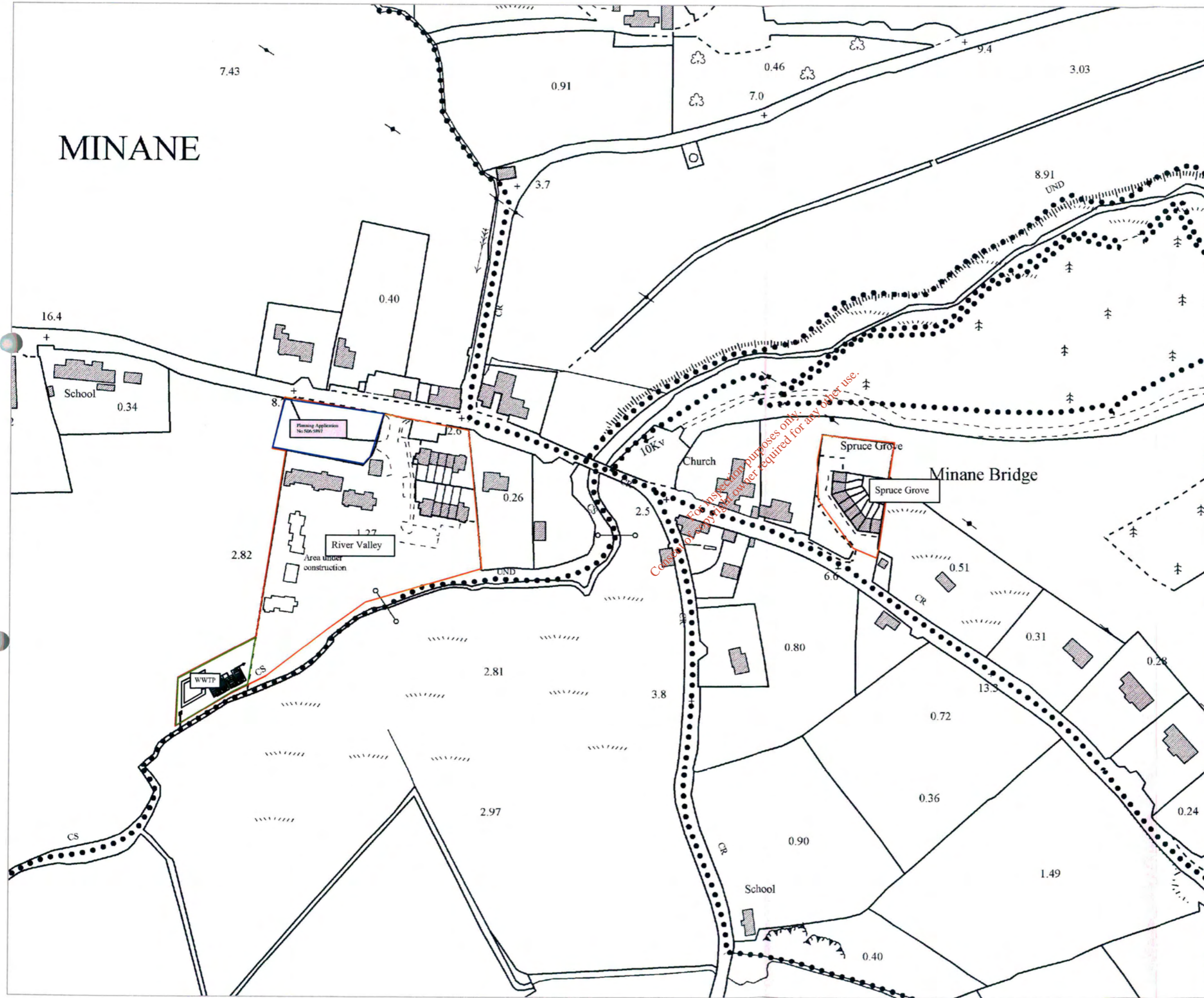
P. Power  
 Director of Services  
 South Cork.

Project:  
**EPA LICENCE APPLICATION**  
 Minane Bridge

Title:  
**Section A1**  
**Non-Technical Summary**  
**Minane Bridge Location Map**


Design:	Checked:	Scale:	Drawing No: <b>Map 02</b>
BOL	BQ	1:2,000	
Date:	Approved:	Date:	
BOL	BQ	11/03/11	

# MINANE



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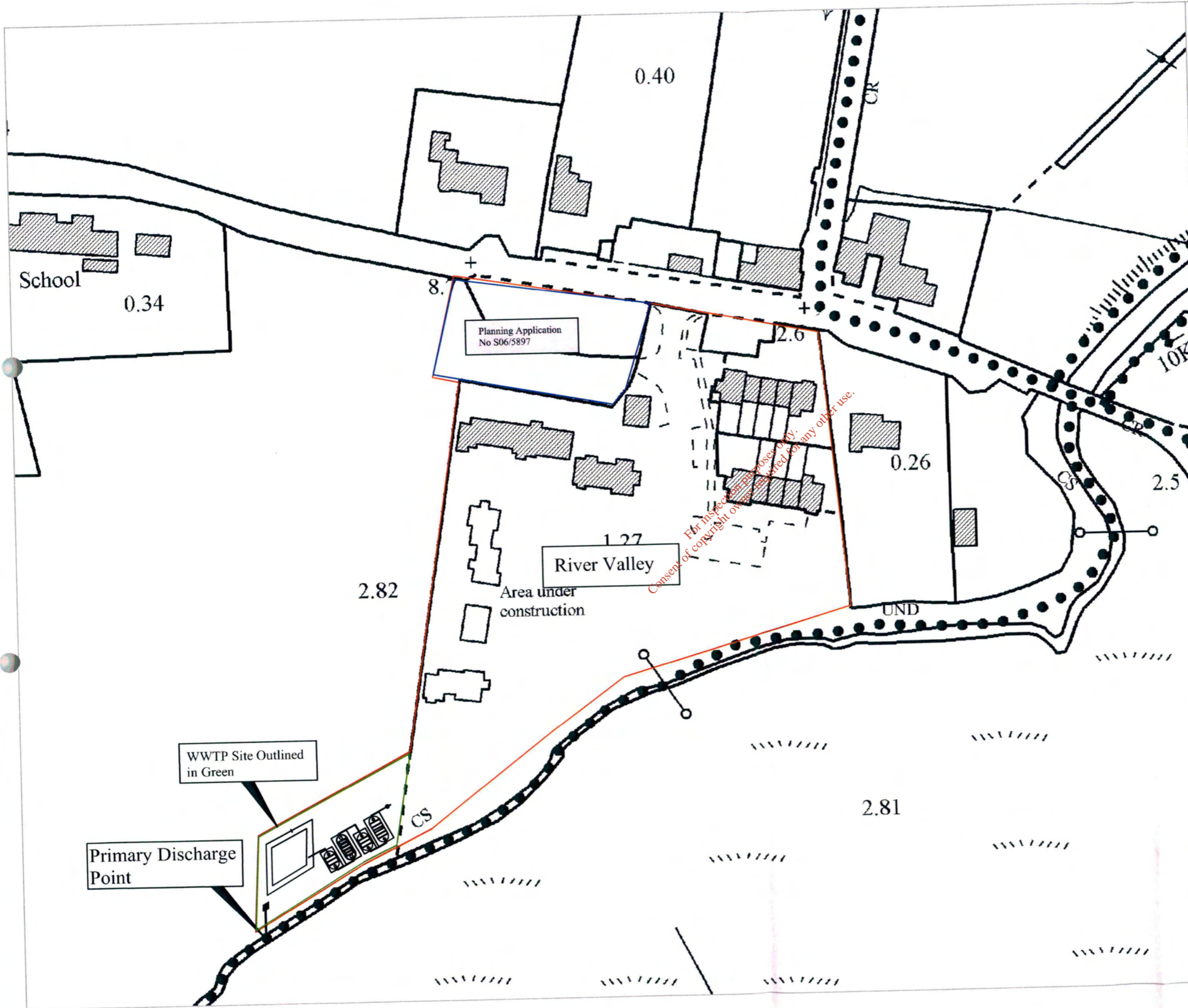


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Project:  
**EPA LICENCE APPLICATION**  
 Minane Bridge

Title:  
**Section B1**  
**Agglomeration Details**  
**Outline of Agglomeration**


Design:	Checked:	Scale:	Drawing No:
BOL	BQ	1:2,000	
Drawn:	Approved:	Date:	Map 03
BOL	BQ	11/03/11	



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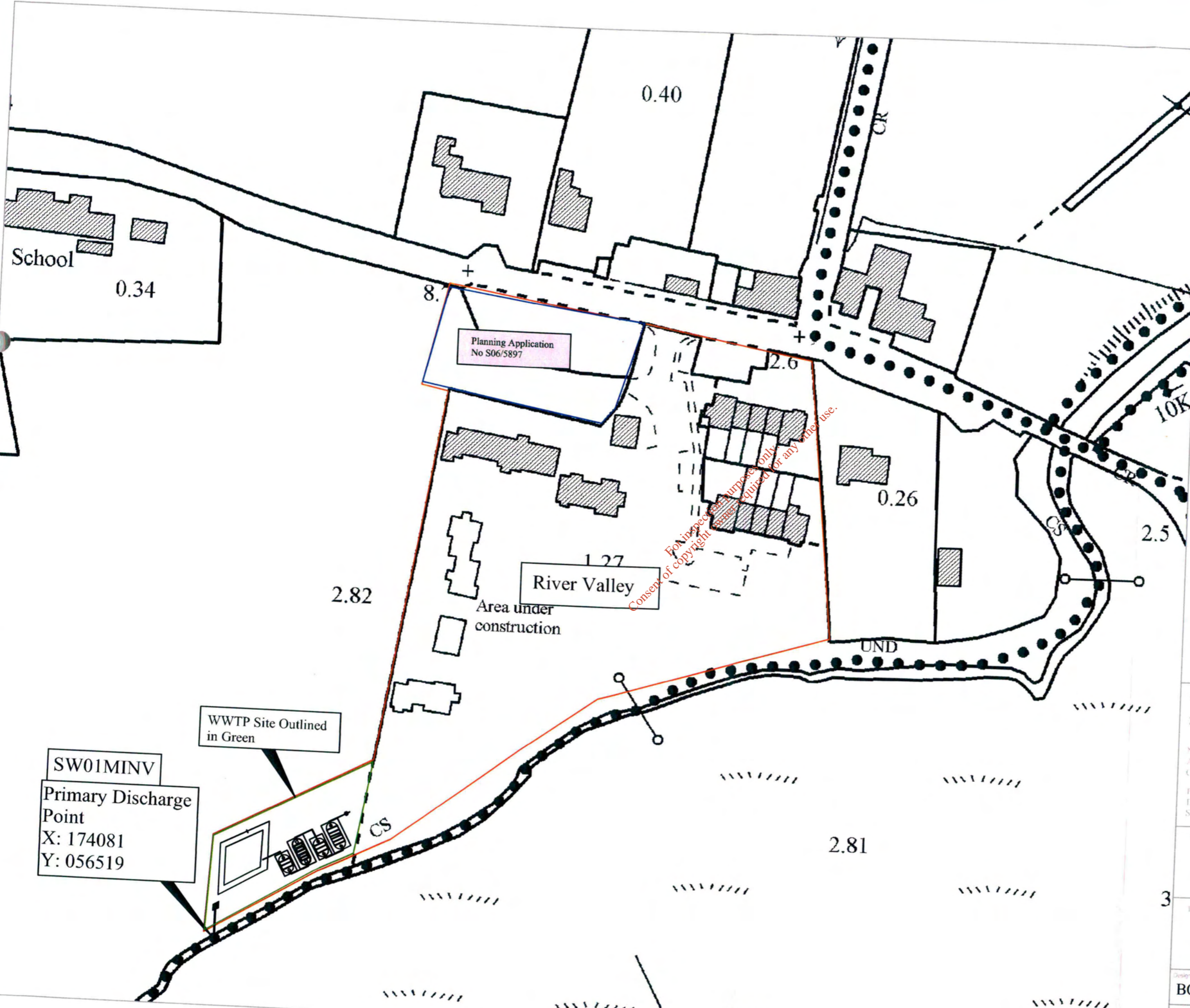


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Project:  
 EPA LICENCE APPLICATION  
 Minare Bridge

Title:  
 Section B2  
 Agglomeration Details  
 Location of WWTP

Designator:	Check:	Scale:	Revision No. Map 04
BOL	BQ	1:1,000	
Date:	Approved:	Date:	
BOL	BQ	11/03/11	



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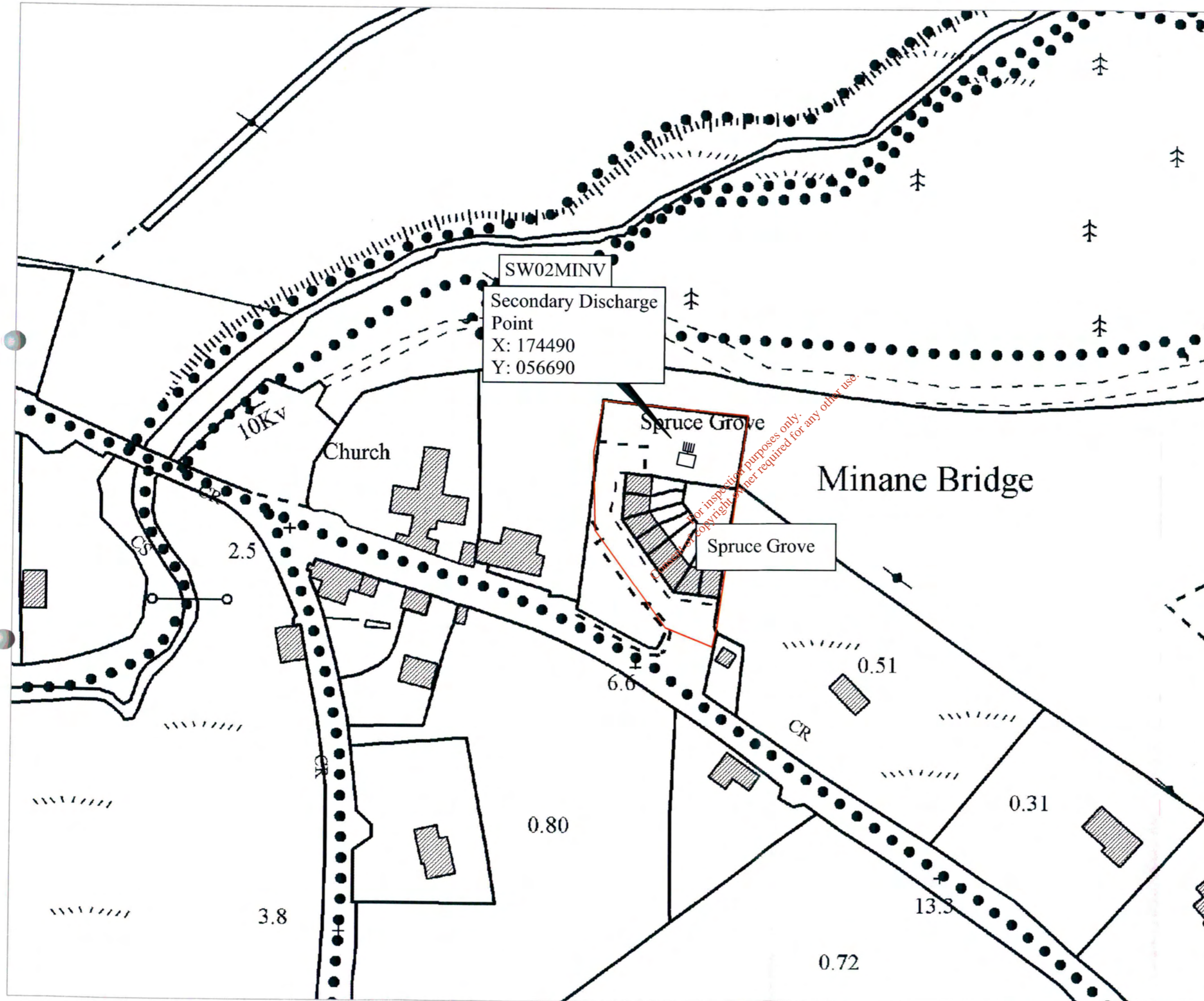
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Project:  
 EPA LICENCE APPLICATION  
 Minane Bridge

Title:  
 Section B3  
 Agglomeration Details  
 Location of Primary Discharge Point

Designator: BOL	Checked: BQ	Scale: 1:1,000	Flowage No: Map 05
Date: BOL	Approved: BQ	Date: 11/03/11	



SW02MINV  
 Secondary Discharge Point  
 X: 174490  
 Y: 056690

Spruce Grove

Minane Bridge

10KV

Church

2.5

6.6

0.51

0.80

0.31

3.8

13.3

0.72

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Project:  
 EPA LICENCE APPLICATION  
 Minane Bridge

Title:  
 Section B4  
 Agglomeration Details  
 Location of Secondary Discharge Point

Design: BOL	Checked: BQ	Scale: 1:1,000	Drawing No: Map 06
Drawn: BOL	Approved: BQ	Date: 11/03/11	

**PLANNING CONDITIONS – 00/3576**

<p><b>NON STANDARD</b>  Water supply shall be provided as shown on documentation lodged with the Planning Authority on 5/11/2002, before commencing development, the developer shall submit a map showing ownership of all lands forming part of the inner and outer source protection zones defined in the hydrogeological Assessment submitted on 15/11/2002, and shall enter into an agreement pursuant to section 38 of the local Government (Planning &amp; Development) Act 1963 to manage all lands within these zones, and under his ownership or control, in such a way as to avoid the spreading of potentially contaminating wastes, slurries, fertilisers etc. on land within these zones, unless and until the borehole shall cease to be a source of domestic drinking water.</p>	<p>To protect the quality of the proposed water supply.</p>
<p><b>NON STANDARD</b>  A management plan for the care and maintenance of the bored well shall be in accordance with the recommendations of the hydro-geological assessment, lodged on 5/11/2002 and shall be agreed with Cork County Council in advance of the development.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  A water supply from the alternative bored well shall be fully operational to the satisfaction of the Sanitary Authority, Cork County Council before construction of any individual dwelling will commence.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  A watermain shall be layed in accordance with the conditions of the Road Opening Licence issued by the Councils Area Engineer.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  A water treatment plant shall be located at the site of the bored well and treated water shall be piped to the site in a 100m pipe.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  A treated water storage tank of a capacity of at least 10,000 litres shall be provided in addition to the raw water storage tank.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  The watermain shall be pressurised using duplicate variable speed controlled pumps each having a capacity which shall be agreed with the Councils Estates Engineer before development commences.</p>	<p>To ensure a satisfactory water supply to serve the development.</p>
<p><b>NON STANDARD</b>  The designs of the proposed dwelling shall be as shown on drawings lodged with the Planning Authority on 29/06/2001, save where amended by the conditions herein.</p>	<p>In the interests of visual amenity.</p>
<p><b>NON STANDARD</b>  Roof covering shall be Blue/Black slate.</p>	<p>In the interests of visual amenity.</p>
<p><b>NON STANDARD</b>  All external walls of the proposed dwelling shall be finished in smooth plaster.</p>	<p>In the interests of visual amenity.</p>

<p>NON STANDARD Chimney breasts shall not project beyond external faces of walls.</p>	In the interests of visual amenity.
<p>VISIBLE DEADWORK SHALL NOT EXCEED MM. Visible deadwork shall not exceed 300mm.</p>	To minimise the visual impact of the development.
<p>NON STANDARD Floor levels of proposed dwellings shall be such as to avoid flooding.</p>	To prevent flooding of proposed dwellings
<p>NON STANDARD A 6m wide strip adjoining the river bank shall be left undisturbed.</p>	To prevent flooding.
<p>NON STANDARD Any fence within the 6m wide strip adjoining the riverbank shall be to the satisfaction of the Planning Authority.</p>	In the interests of orderly development.
<p>NON STANDARD (i) A 1.8m high stone wall shall be constructed to the Councils Satisfaction along A B C D E F indicated on site layout plan by the Councils Engineer.  ii) Screen wall 1.8m high shall be constructed along eastern site boundary to the Councils satisfaction.  iii) Fencing along the western boundary of site shall be to the Councils satisfaction  iv) Riverside fence shall be set back 6m from the river and shall be to the Councils satisfaction  v) 1.8m high, plastered and capped, concrete black screen walls shall be constructed along LM,NP,HQRS,TU,VN,and XY indicated on site layout plan by the Councils Planning Officer  vi) Fences between sites shall be to the Councils satisfaction and shall be backed with hedging.</p>	In the interests of visual amenity.
<p>ROADS PATHS ETC. IN ACCORD WITH H.E.1986 Roads, paths, kerbs, turning spaces, junctions, etc. shall be designed, constructed and completed in accordance with the Council's Guidelines for Housing Estates 1986 unless otherwise superceded by the Conditions of this Schedule.</p>	To ensure that estate roads, paths, etc. are completed to a satisfactory standard.
<p>TELEPHONE CABLES ETC. LAID UNDERGROUND All public services required for the development including electrical, communal television and telephone cables shall be laid underground in accordance with the Council's Guidelines for Housing Estates (1986).</p>	In the interests of visual amenity and safety.
<p>NON STANDARD (i) A minimum of 100 no. indigenous trees shall be planted in groups on site to the Councils satisfaction  ii) Faces of cuttings and enbankments shall be</p>	In the interests of visual amenity.



landscaped to the Councils satisfaction	
iii) A minimum of 40 no. trees shall be planted in groups west of the western boundary of the site to the Councils satisfaction before development commences. detailed landscaping proposals showing locations, sizes and species of trees, shrubs and ground cover plants shall be submitted to and agreed in writing with the Planning Authority.	
<b>SIGHT DISTANCE AT ENT/TRIANGLE CLEAR</b> Sight distance of 80m in both directions from centre point of entrance 3m back from public road edge. No vegetation or structure shall exceed 1m in height within the sight distance triangle.	To provide proper sight distance for emerging traffic in the interests of road safety.
<b>NON STANDARD</b> The proposed foul sewer from manhole EF/1 to manhole EF/4 to manhole F1 to the treatment plant shall be 225mm in diameter and shall flow by gravity to the treatment plant.	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> The gradient of the pipe from manhole F1 to the treatment plant shall be 1/150 the invert level at the treatment plant shall be dropped if necessary.	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> If it is necessary to pump sewage it shall be done after the primary settlement tank or after the Aeroclear unit.	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> The foul and stormwater pipes shall be at least 9 meters from any building : If this is not possible, the horizontal distance from the pipe to the bottom of the foundation shall be at least double the vertical distance from the bottom of the pipe to the bottom of the foundation.	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> The watermain shall at least 5 meters from any building	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> A 1.5 meter high pallisade fence shall be erected around the sewage treatment plant and wetlands and also around water treatment plant.	To ensure satisfactory drainage arrangements.
<b>NON STANDARD</b> Duplicate variable speed controlled pumps shall be provided to deliver the water from the storage tank to the service mains, these pumps shall be capable of delivering at least 20 litres per second at the furthest hydrant with both pumps working together.	To ensure satisfactory drainage arrangements
<b>DIS.OF WASTE/DISHWASHERS+W.MACHINES</b> The developer shall provide built in connections to the foul sewer to facilitate the installation of washing machines and dishwashers. Additional gullies discharging to the foul sewer shall be provided where directed by the Council.	To avoid contamination of the storm system and facilitate satisfactory discharge of waste from these appliances.
<b>SURFACE WATER NOT TO FLOW INTO SEWER</b>	To prevent overloading of the sewer.

Surface water shall not be permitted to enter the foul sewer.	
<b>ROAD GULLYS SHALL HAVE GRIT SUMPS</b> Road gullies shall have grit sumps of at least 1/30 cu.m capacity.	To prevent obstruction of road gullies.
<b>STORM SYSTEM</b> The storm system shall be designed using a rainfall intensity of 50mm per hour. Storm pipes shall have a minimum diameter of 225mm	In the interests of orderly development.
<b>DISHED FOOTPATHS</b> Footpaths shall be dished to the Council's Estate Engineer's satisfaction.	In the interests of orderly development.
<b>SURFACE WATER DISPOSAL</b> All surface water run-off from roofs, entrances and parking areas shall be collected and disposed of within the site to soakpits/drains/adjacent water courses. Surface water run-off shall not be allowed to flow onto the public roadway, adjoining properties or to discharge to Council's foul sewer.	To ensure satisfactory surface water drainage arrangements.
<b>WATERMAIN ON THE ROADWAY</b> The watermain shall be laid on the roadway, 1 metre from the kerb line.	In the interests of orderly development.
<b>FIRE HYDRANT</b> A fire hydrant shall be provided at the end of each road and otherwise no house shall be more than 50 metres from a hydrant.	In the interests of orderly development.
<b>(W.S.C.R.)</b> A water service control box (W.S.C.R.) which shall include a non-return valve, shall be fitted to each water service pipe	In the interests of orderly development.
<b>METERED TO THE COUNCIL'S SATISFACTION</b> Water supply shall be metered to the Council's satisfaction.	In the interests of orderly development.
<b>CONNECTIONS TO THE FOUL SEWER</b> All connections to the foul sewer shall be made using tee pieces built into the main line where PVC pipes are used. Where concrete pipes are used, connections shall be made using either cored pipes or inlets cast into the pipes during manufacture. The appropriate rubber rings and fittings shall be used.	In the interests of orderly development.
<b>SUBMIT RECORD DRAWINGS OF SERVICES</b> The developer shall submit as required by the Planning Authority, accurate record drawings to scale 1/500 of roads, footpaths, foul and storm sewers including depths and locations of manholes, and locations of house services; watermains including locations of valves, hydrants and other fittings; public lighting and open space areas.	To facilitate future maintenance of the roads and services.
<b>INDEMNIFY THE COUNTY COUNCIL</b> The developer shall indemnify the County Council against all claims resulting from defective foul and storm sewers man holes and road gullies until the development is taken in charge by the County Council.	In the interests of orderly development.
<b>NON STANDARD</b>	To ensure satisfactory drainage arrangements

Foul and stormwater sewers shall be sized graded and laid to the Councils satisfaction	
NON STANDARD Treated foul effluent shall not exceed 10mg/l BOD and 10mg/l suspended solids	To ensure satisfactory drainage arrangements
NON STANDARD The pumping station shall be located at least 20m from any house and shall consist of duplicate pumps and shall incorporate an auxillary storage tank having a capacity of at least 24 hours overflow which shall discharge to a soakpit and not to the river. A separte chamber shall be provided for the valves	To ensure satisfactory drainage arrangements
NON STANDARD The storm water system shall be based on a rainfall intensity of 50mm per hour	To ensure satisfactory drainage arrangements
UNTIL TAKEN IN CHARGE BY COUNCIL Before commencing any individual house construction the developer shall provide, to the satisfaction of the Planning Authority, security for the provision and satisfactory completion, including maintenance until taken in charge at the discretion of that Authority, of roads, footpaths, sewers, watermains, road lighting, open spaces and other services required in connection with the development. The security shall be a Bond in a form and amount approved by the Planning Authority and provided by a Bank or Insurance Company acceptable to the Planning Authority.	To ensure that these parts of the development are constructed and completed to a satisfactory standard.
EXPEND.TO BE INCURRED/AMOUNT SPECIFIED Within a period of one month prior to the date of commencement of the development, but no later than such date, the developer shall pay to Cork County Council a sum of 19,050 Euro updated in accordance with the Consumer Price Index from the date of grant of Permission to the value pertaining at the time of payment, as a contribution towards the expenditure proposed to be incurred by the Council in the provision of public water supply which will facilitate the proposed development. The payment of the said contribution shall be subject to the following:- (a) Where the proposed works are, within a period of 7 years from the date of payment of the full contribution or final instalment payment thereof, not commenced, the return of the contribution or the instalments thereof, paid during that period. (b) Where the proposed works are, within a period of 7 years from the date of payment of the full contribution or final instalment payment thereof, carried out in part only, or in such a manner as to facilitate the proposed development to a lesser extent, the return of a proportionate part of the contribution or the instalments thereof paid during that period. (c) Payment of interest at the prevailing interest rate payable by the Council's Treasurer on the Council's General Account on the contribution or any instalments thereof that have	It is considered appropriate that the developer should contribute towards the expenditure to be incurred by the Council in respect of these works which will facilitate the proposed development.

<p>been paid, so long as and in so far as it is or they are retained unexpended by the Council.</p> <p>No development shall take place until the monies have been paid to the Council.</p>	
<p>EXPEND.TO BE INCURRED/AMOUNT SPECIFIED</p> <p>Within a period of one month prior to the date of commencement of the development, but no later than such date,the developer shall pay to Cork County Council a sum of 19,050 Euro updated in accordance with the Consumer Price Index from the date of grant of Permission to the value pertaining at the time of payment, as a contribution towards the expenditure proposed to be incurred by the Council in the provision of Public sewer which will facilitate the proposed development. The payment of the said contribution shall be subject to the following:-</p> <p>(a) Where the proposed works are, within a period of 7 years from the date of payment of the full contribution or final instalment payment thereof, not commenced, the return of the contribution or the instalments thereof, paid during that period. (b) Where the proposed works are, within a period of 7 years from the date of payment of the full contribution or final instalment payment thereof, carried out in part only, or in such a manner as to facilitate the proposed development to a lesser extent, the return of a proportionate part of the contribution or the instalments thereof paid during that period. (c) Payment of interest at the prevailing interest rate payable by the Council's Treasurer on the Council's General Account on the contribution or any instalments thereof that have been paid, so long as and in so far as it is or they are retained unexpended by the Council.</p> <p>No development shall take place until the monies have been paid to the Council.</p>	<p>It is considered appropriate that the developer should contribute towards the expenditure to be incurred by the Council in respect of these works which will facilitate the proposed development.</p>
<p>EXPEND.TO BE INCURRED/AMOUNT SPECIFIED</p> <p>Within a period of one month prior to the date of commencement of the development, but no later than such date,the developer shall pay to Cork County Council a sum of 9,900 Euro updated in accordance with the Consumer Price Index from the date of grant of Permission to the value pertaining at the time of payment, as a contribution towards the expenditure proposed to be incurred by the Council in the provision of Road Improvement Works which will facilitate the proposed development. The payment of the said contribution shall be subject to the following:- (a) Where the proposed works are, within a period of 7 years from the date of payment of the full contribution or final instalment payment thereof, not commenced, the return of the contribution or the instalments</p>	<p>It is considered appropriate that the developer should contribute towards the expenditure to be incurred by the Council in respect of these works which will facilitate the proposed development.</p>

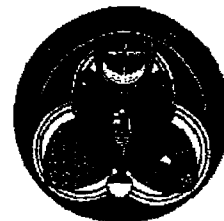
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# Comhairle Contae Chorcaí Cork County Council

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Fón: (021) 4532700 • Faisc: (021) 4532727  
Suíomh Gréasáin: [www.corkcoco.ie](http://www.corkcoco.ie)



Mr. Frank Clinton,  
Program Manager,  
Office of Climate, Licensing & Resource Use,  
Environment Protection Agency,  
Headquarters,  
PO Box 3000,  
Johnstown Castle Estate,  
County Wexford.

16<sup>th</sup> December, 2009

**Re: Waste Water Discharge (Authorisation) Regulations 2007 – fees payable in respect of applications to be submitted by 22<sup>nd</sup> December, 2009.**

Dear Mr. Clinton,

I refer to the 72 certificate applications and 3 discharge authorisation licence applications which will be submitted by the council under the above regulations before the 22<sup>nd</sup> December next.

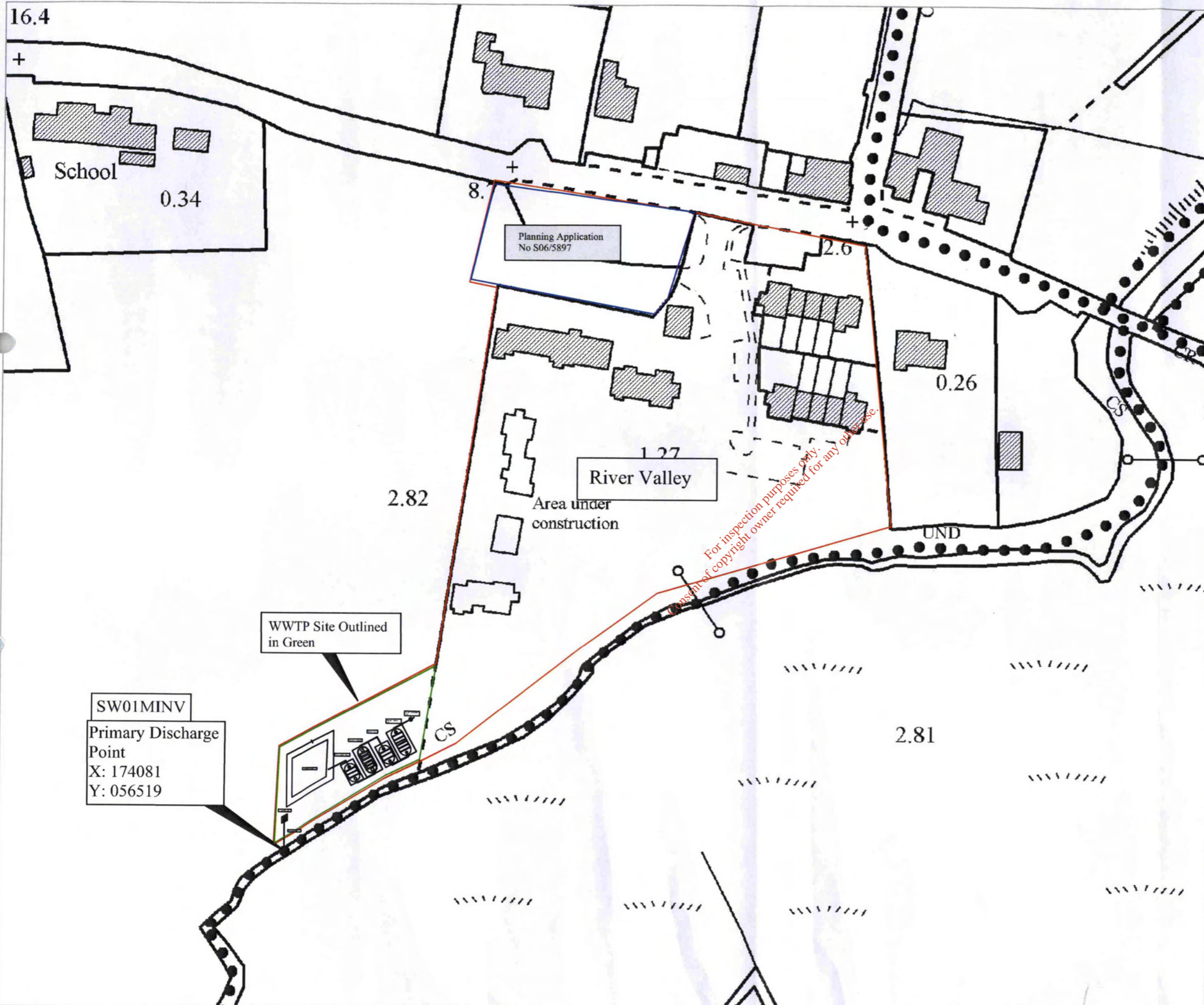
I note that the fees payable in respect of these applications amount to €246,000 and refer you to our letter of 7<sup>th</sup> November 2008 (sent by Ted O'Leary, Senior Executive Officer) seeking a rebate/reduction, as is provided for under Art 38 (3) of the regulations. I note that since that letter the council has paid a further € 570,000 in applications fees meaning that the total amount paid by the council to date amounts to € 1,245,000.

As you will appreciate, in the current economic climate, the amount payable in respect of this final batch of applications is a significant sum that was not budgeted for in 2009. Moreover we have paid a substantial amount in fees already and have made our case for a reduction/rebate. Accordingly, I must advise that we are not submitting payment in respect of these applications as we anticipate the rebate due to the council exceeds the fees payable.

Yours faithfully,

Louis Duffy,  
Director of Service,  
Environment & Emergency Services Directorate





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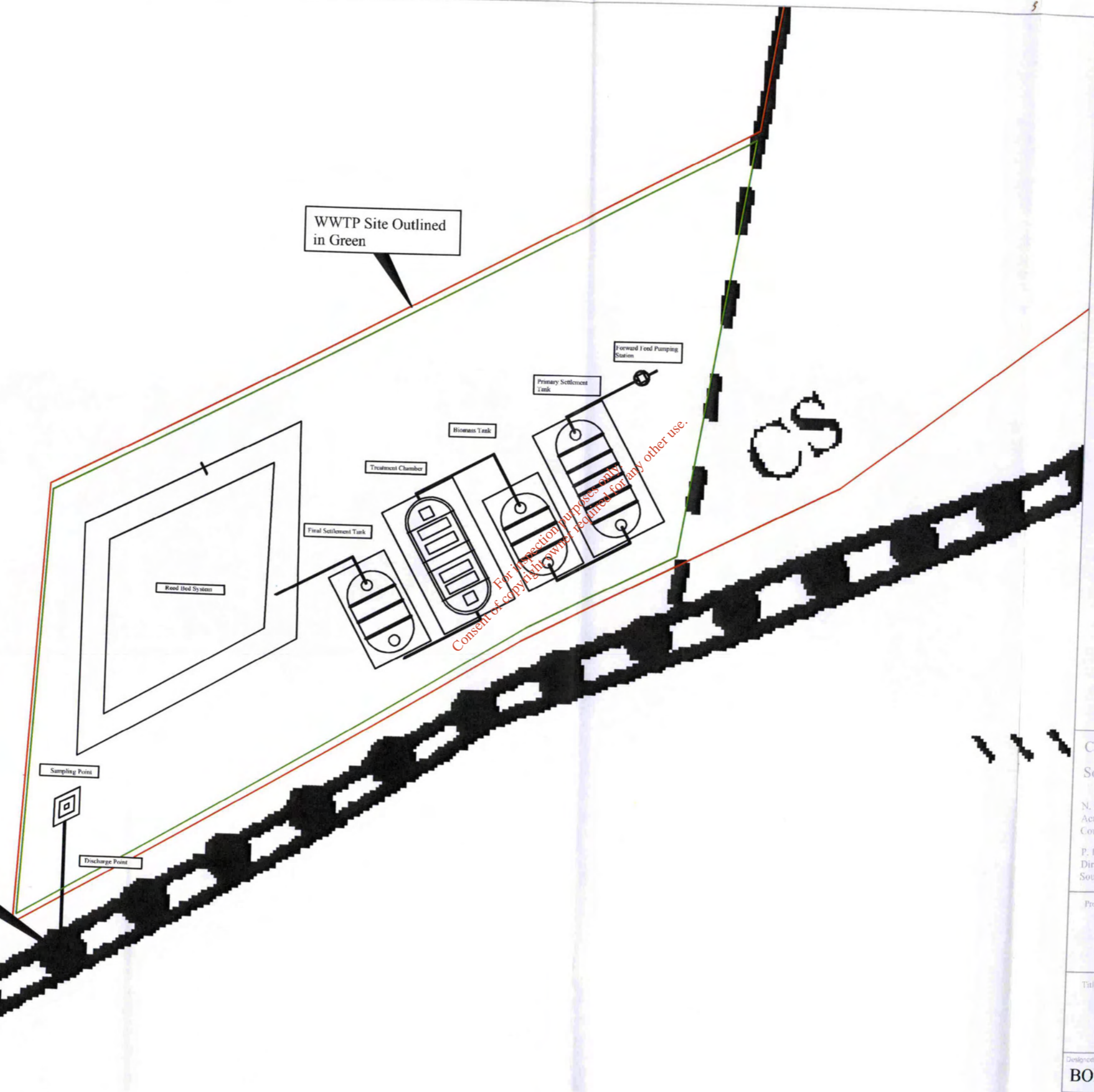
Project:  
EPA LICENCE APPLICATION  
Minane Bridge

Title:  
Section C  
Operational Details  
Location of WWTP

Design: BOL	Checked: BQ	Scale: 1:1000	Drawing No: Map 07
Date: BOL	Approved: BQ	Date: 11/03/11	


WWTP Site Outlined in Green

SW01MINV  
 Primary Discharge Point  
 X: 174081  
 Y: 056519



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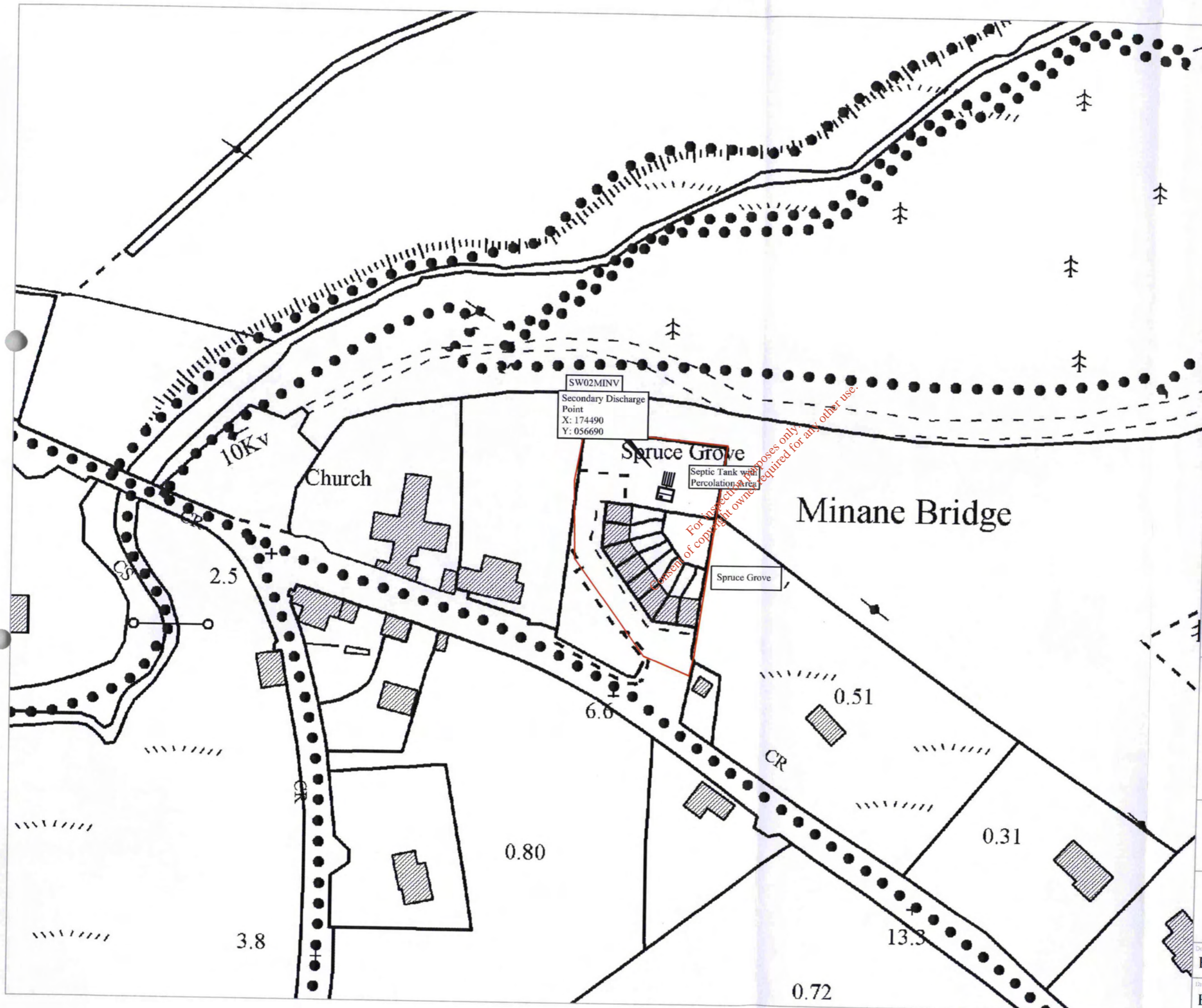
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Title:  
 Section C  
 Operational Details  
 WWTP


Designed:	Checked:	Scale:	Drawing No. <b>Map 08</b>
BOL	BQ	1:250	
Drawn:	Approved:	Date:	
BOL	BQ	11/03/11	





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Cork County Council  
 South Cork Division



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Project:  
**EPA LICENCE APPLICATION**  
 Minane Bridge

Title:  
**Section C**  
**Operational Details**  
**Location of Septic Tank**

Designer: BOL	Checked: BQ	Scale: 1:1000	Drawing No. <b>Map 09</b>
Date: BOL	Approved: BQ	Date: 11/03/11	